GENERAL NOTES

GENERAL REQUIREMENTS

- A. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT ARCHITECT TO ANY UNFORESEEN CONSTRUCTION DIFFICULTIES BEFORE BEGINNING WORK.
- B. PRE-CONSTRUCTION MEETING. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY. THE CONTRACTOR SHALL SCHEDULE, WITH OWNER APPROVAL, A PRE-CONSTRUCTION MEETING WITH THE LOCAL BUILDING DEPT. OR LOCAL PUBLIC WORKS DEPT. VERIFY WHICH AGENCIES SHOULD BE INVOLVED. THE CONTRACTOR SHALL PROVIDE LOCAL INSPECTOR WITH 24 HOURS NOTICE PRIOR TO INSPECTION.
- REPETITIVE. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS. ELEVATIONS AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
- D. CODES / PERMITS / REGULATIONS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY OTHER THAN THE BUILDING CONSTRUCTION PERMIT. CONTRACTOR SHALL ALSO PAY FOR ALL OTHER CHARGES, FEES OR COSTS CHARGED BY THE BUILDING AND CONSTRUCTION DEPARTMENTS, UTILITY AGENCIES OR PRIVATE COMPANIES WHICH REQUIRE SUCH COSTS FOR OR PRIOR TO INSTALLATIONS

NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH APPLICABLE CODES AND/OR REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE AND CEASE WORK. ALL PARTS PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.

ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AS

DIMENSIONS ARE SHOWN TO FACE OF MASONRY OR CENTERLINE OF OPENING, UNLESS DETAILED OTHERWISE ON DRAWINGS.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.

INSTALLED BY CONTRACTOR, FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR OR OTHERS.

SIZES AND LOCATIONS WITH SUBCONTRACTORS.

- SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR THE ARCHITECT'S/OWNER'S APPROVAL AND AS REQUIRED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
- COMPLY WITH APPLICABLE REGULATIONS FOR BARRIER-FREE FACILITIES (WAC 51-40-1100) INCLUDING:

2:12 SLOPE.

TO RADIUS OF ONE HALF INCH (1/2") MAXIMUM

- JOINTS, SILICONE AT WINDOWS & STOREFRONT. ALL OTHER LOCATIONS AS SPECIFIED.
- C. VAPOR BARRIERS. CONTINUOUS APPROVED VAPOR BARRIERS SHALL BE INSTALLED ON THE HEATED SIDE OF ALL THERMAL INSULATION INSTALLED.
- INSULATION ENTIRELY ABOVE DECK: R-30 CONTINUOUS INSULATION

FLOORS:

R-10 FOR 24" BELOW

ALUMINUM STOREFRONT: U=0.38 EXTERIOR SWING DOORS (45% GLAZED): U=0.56 EXTERIOR ROLL-UP DOORS: R=4.75

FIRE PROTECTION

- A. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY IBC AND LOCATE PER FIRE MARSHAL'S DIRECTION.
- . MAINTAIN STRUCTURAL AND FIRE RESISTIVE INTEGRITY AT EXTERIOR AND RATED INTERIOR WALL

ABBREVIATIONS

AB	WEATHER RESISTIVE BARRIER/AIR	M, MIRR MAINT	MIRROR
BARRIER (\	MRB)	MAINT	MAINTENANCE MATERIAL
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
AHU	AIR HANDLING UNIT	MB	MARKER BOARD
ALT	ALTERNATE	MECH	MECHANICAL
ALUM	ALUMINIUM	MET	METAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BRG	BEARING	MISC	MISCELLANEOUS
JNG	DEANING	MICR	MICROWAVE
CAB	CABINET	MR	MOISTURE RESISTANT
CIP	CAST IN PLACE	MT	MOUNT, MOUNTED
CG	CORNER GUARD	MS	METAL SHELVING
CL	CENTER LINE	MTL	METAL
CLG	CEILING		
CLR	CLEAR, CLEARANCE	NIC	NOT IN CONTRACT
CONC	CONCRETE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	0.0	ON OFNITED
CONT	CONTINUOUS	0.C.	ON CENTER
COL	COLUMN	DD	DANIC DAD
CUST	CUSTODIAN	PB BC	PANIC BAR
אסו	DOUBLE	PC PER, PERM	POWDER COAT PERIMETER
)BL	DOUBLE	PER, PERM P-LAM, PLAM	PLASTIC LAMINATE
DEMO	DEMOLISH, DEMOLITION	PLYWD	PLYWOOD
)ET	DETAIL DEINKING FOUNTAIN	PR	PAIR
OF DIAG	DRINKING FOUNTAIN	PREF	PREFINISHED
DIAG DIA	DIAGONAL DIAMETER	PROP	PROPERTY
OIM OIM	DIMENSION	PT	PAINT
OIV	DIVISION	 Р.Т.	PRESSURE TREATED
OTL	DETAIL	PTD	PAPER TOWEL DISPENSER
OR .	DOOR	PTN	PARTITION
OWG	DRAWING		
-\ -	5.40T 5.40T.10	QTY	QUANTITY
Έ), Ε.	EXIST, EXISTING	RB	RUBBER BASE
ΞA	EACH	RECEP	RECEPTACLE
	ELEVATION,	REF	REFERENCE, REFRIGERATOR
EQ Ew	EQUAL	RES	RESILIENT
W VT	EACH WAY	REQ. REQ'D	REQUIRE, REQUIRED
EXT	EXTERIOR	REV	REVISION, REVISED
Ā	FIRE ALARM	RM. RMS	ROOM, ROOMS
-AA	FIRE ALARM ANNUNCIATOR	R0	ROUGH OPENING
AC, FF	FACTORY FINISH		
AP	FIRE ALARM PANEL	SAF	SELF-ADHERED FLASHING
E	FIRE EXTINGUISHER	SAN	SANITARY
ĒC	FIRE EXTINGUISHER CABINET	SAV	STAIN AND VARNISH
OIC	FURNISHED BY OWNER -	SCW	SOLID CORE WOOD
	INSTALLED BY CONTRACTOR	SCD	SEAT COVER DISPENSER
RP	FIBERGLASS REINFORCED PANEL	SD	SOAP DISPENSER
T	FOOT	SEAL	SEALED CONCRETE
	0.41105	SECT SF	SECTION SQUARE FEET
SA SD	GAUGE CRAP, RAP	SF SG	SAFETY GLAZING
B N	GRAB BAR	SHT	SHEET
GL GWB	GLASS, GLAZING GYPSUM WALLBOARD	SIM	SIMILAR
110	OTI SOM MALLDOARD	SND	SANITARY NAPKIN DISPOSAL
HDW	HARDWARE	SPEC, SPECS	
HM	HOLLOW METAL	SS	STAINLESS STEEL
HORIZ	HORIONTAL	ST, STL	STEEL
HT	HEIGHT	STD	STANDARD
HVAC	HEATING/VENTILATION/AIR	STOR	STORAGE
. • / 10	CONDITIONING	STRUCT	STRUCTURAL
łW	HOT WATER	SUSP	SUSPENDED
NCL	INCLUDE	THRU	THROUGH
NCL NFO	INCLUDE INFORMATION	TP	TOILET PAPER DISPENSER
NSUL	INSULATION	TYP	TYPICAL
NT	INTERIOR		= -
		UNO	UNLESS NOTED OTHERWISE
AN	JANITOR	UR	URINAL
ST T	JOIST JOINT	VERT	VERTICAL
	LAMINATE	W/	WITH
.AV	LAVATORY	W/O	WITHOUT
.OC	LOCATION	W/R	WATER RESISTANT
_VR	LOUVER	WB	WHITE BOARD
		WC	WATER CLOSET
		WD	WOOD
		WF WP	WOOD FINISH WATERPROOFING

REFERENCE SYMBOLS

A09

(A101)

DECORATIVE

REFERENCE

REFERENCE

OPERABLE

FRAME TYPE

REFERENCE

REFERENCE

INTERIOR ELEVATION

PARTITION

STEEL PANEL

WALL SECTION

KEY NOTE

ROOM NAME

DOOR NUMBER

DETAIL REFERENCE

BUILDING SECTION

REFERENCE

REFERENCE

CONSTRUCTION OF NEW FREE STANDING TWO STORY CLASSROOM BUILDING INCLUDING A ONE STORY GYMNASIUM AND NEW PARKING LOT AND BUILDING UTILITIES ON EXISTING SCHOOL SITE. INCLUDED ARE RIGHT OF WAY IMPROVEMENTS.

PROJECT DATA

CEDAR PARK SCHOOLS LYNNWOOD MUNICIPAL CODE 17931 64th AVE W 2018 WASHINGTON STATE BUILDING CODE LYNNWOOD, WA 98037 (2018 IBC WITH AMENDMENTS) 2018 INTERNATIONAL MECHANICAL CODE (IMC 2018 WITH AMENDMENTS) 2018 WASHINGTON STATE FIRE CODE TAX ACCOUNT # 00513100016401 (IFC 2018 WITH AMENDMENTS) 2018 WASHINGTON STATE PLUMBING CODE LOT SIZE: 393,356 SF (9.03 ACRES) NATIONAL ELECTRIC CODE (NEC) CURRENT EDITION* 2018 WASHINGTON STATE ENERGY CODE WIND EXPOSURE: (IECC 2015 WITH AMENDMENTS) 2009 ACCESSIBILITY CODE ICC/ANSI A117.1 SOIL BEARING CAPACITY: 2,500 PSF *CURRENT WASHINGTON STATE AMMENDMENTS CITY OF LYNNWOOD FIRE DISTRICT: SOUTH COUNTY FIRE CITY OF LYNNWOOD SEWER DISTRICT: USE GROUP (IBC CHAPTER 3) WATER DISTRICT: E EDUCATION (SECTION 303.1 EXCEPTION 4) CITY OF LYNNWOOD BUILDING INFORMATION TYPE OF CONSTRUCTION (IBC CHAPTER 6) 800 SF CLASSROOMS: NEW CONSTRUCTION: VB 5.000 SF GYM: TOILET ROOMS: ADMINISTRATION AREA:

PROJECT TEAM

OWNER CEDAR PARK CHRISTIAN SCHOOLS 16300 112th AVE NE, BOTHELL, WASHINGTON 98011 253-259-4887 MARK KIRKLAND CORNERSTONE ARCHITECTURAL GROUP 6161 175TH STREET, SUITE 101 KENMORE, WA 98028 206-0682-5000 STEVE BARNES TERRAFORMA DESIGN GROUP LLC 5027 51ST AVENUE SW SEATTLE, WA 98136 206-923-0590 PEDRO DEGUZMAN TERRAFORMA DESIGN GROUP LLC LANDSCAPING 5027 51ST AVENUE SW SEATTLE, WA 98136 206-923-0590 AKEMI DEGUZMAN STRUCTURAL PETERSON, STREHLE, MARTINSON, INC. 2200 SIXTH AVE., SUITE 601 SEATTLE, WA 98121 206-622-4580 DAVID STUBBS MECHANICAL WOOD HARBINGER INC. 929 108th AVE NE. STE 100

BELLEVUE, WA 98004

425-628-6042

PAUL GREENWALT

SCOPE OF WORK

CODES

C1.5 UTILITY PLAN C2.1 64TH AVE W - STA 2+98 - 5+50 C2.2 64TH AVE W - STA 5+50 - 9+50 C2.3 180TH ST SW - STA 20+00 - 25+00 C2.4 180TH ST SW - STA 25+00 - 27+50 ROADWAY CHANNELIZATION & SIGNAGE C3.1 CIVIL NOTES C3.2 ESC DETAILS C3.3 STORM DETAILS C3.4 STORM DETAILS C3.5 STORM DETAILS C3.6 ROAD DETAILS C3.7 ROAD DETAILS C3.8 WATER DETAILS C3.9 WATER & SEWER DETAILS LANDSCAPE

L1.1 LANDSCAPING SITE PLAN L1.2 LANDSCAPE LEGEND, NOTES, DETAILS

ARCHITECTURAL

AC1 COVER SHEET

AC4 CODE ANALYSIS

AC5 CODE ANALYSIS

DIAGRAMS

C1.1 CIVIL COVER SHEET

C1.4A GRADING & DRAINAGE PLAN

C1.4B GRADING & DRAINAGE PLAN

C1.2 T.E.S.C. PLAN

C1.3 PAVING PLAN

AC3 ACCESSIBILITY DIAGRAMS

AC7 ENVELOPE ENCLOSURE DIAGRAMS

AC2 CODE PLAN

A1.1 SITE PLAN A1.2 PARTIAL SITE DEMOLITION PLANS A1.3 SITE SECTIONS / DETAILS A1.4 SITE DETAILS A1.5 SITE REATIANING WALLS / DETAILS A2.0 OVERALL FLOOR PLAN A2.11 FIRST FLOOR PLAN A2.12 FIRST FLOOR EQUIPMENT & FINISHES PLAN A2.21 SECOND FLOOR PLAN A2.22 SECOND FLOOR EQUIPMENT & FINISHES PLAN A2.3 LARGE SCALE PLANS / SECTIONS / DETAILS A2.4 WALL TYPE DETAILS A3.1 EXTERIOR ELEVATION A3.2 EXTERIOR ELEVATION / SECTIONS/ ELEVATIONS A4.1 BUILDING SECTIONS

A4.2 BUILDING SECTIONS

A5.2 WALL SECTIONS A5.3 WALL SECTIONS A5.3 WALL SECTIONS A5.3 WALL SECTIONS A5.4 WALL SECTIONS A5.5 WALL SECTIONS A5.6 WALL SECTIONS A5.7 WALL SECTIONS A5.8 WALL SECTIONS A5.9 WALL SECTIONS A5.10 WALL SECTIONS

A4.3 BUILDING SECTIONS

A5.1 WALL SECTIONS

A5.11 WALL SECTIONS A6.1 DOOR SCHEDULE / DOOR DETAILS A6.2 ROOM FINISH SCHEDULE

A7.1 INTERIOR ELEVATIONS A7.2 INTERIOR ELEVATIONS A7.3 INTERIOR ELEVATIONS A7.4 INTERIOR ELEVATIONS A7.5 INTERIOR ELEVATIONS A7.6 INTERIOR ELEVATIONS

A6.3 DOOR DETAILS

A6.4 WINDOW DETAILS

A7.7 INTERIOR ELEVATIONS A7.8 INTERIOR ELEVATIONS A7.9 INTERIOR ELEVATIONS A8.1 ROOF PLAN A8.2 ROOF DETAILS

A8.3 ROOF DETAILS A8.4 ROOF DETAILS A8.5 ROOF DETAILS A8.6 ROOF DETAILS

A9.1 FIRST FLOOR REFLECTED CEILING PLAN A9.2 SECOND FLOOR REFLECTED CEILING PLAN A10.1 MISCELLANEOUS DETAILS

A10.2 MISCELLANEOUS DETAILS A10.3 MISCELLANEOUS DETAILS

A10.4 MISCELLANEOUS DETAILS

LEGAL DESCRIPTION

TRACT 164, MEADOWDALE BEACH, AS PER PLAT RECORDED IN VOL. 5, PAGE 38 OF PLATS, RECORDS OF SNOHOMISH COUNTY, WASHINGTON. EXCEPT THE SOUTH 10' AND THE WEST 10' THEREOF DEEDED TO SNOHOMISH COUNTY UNDER AUDITOR FILE NO. 1096468, RECORDS OF SAID COUNTY.

SHEET INDEX

STRUCTURAL S1.01 GENERAL NOTES S1.02 SPECIAL INSPECTIONS S1.11 LOADING DIAGRAMS AC6 ENVELOPE ENCLOSURE, CODE REQUIREMENTS AND S1.21 TYPICAL DETAILS - FOUNDATION S1.31 TYPICAL DETAILS (STEEL JOISTS AND METAL DECK) S1.41 WOOD FRAMING TYPICAL DETAILS S1.42 WOOD FRAMING TYPICAL DETAILS

S2.01 FOUNDATION PLAN S2.11 FOUNDATION SECTIONS S2.21 FOUNDATION DETAILS

S3.01 SECOND FLOOR FRAMING PLAN S4.01 ROOF FRAMING PLAN S4.02 MECHANICAL UNIT FRAMING PLAN AND DETAILS S5.01 BUILDING ELEVATIONS S5.02 BUILDING ELEVATIONS

S5.03 BUILDING ELEVATIONS S7.01 FLOOR FRAMING SECTIONS S8.01 ROOF FRAMING SECTIONS S8.02 ROOF FRAMING SECTIONS

S8.03 ROOF FRAMING SECTIONS S8.11 ROOF FRAMING DETAILS S9.01 STAIR FRAMING PLANS

S9.11 STAIR FRAMING SECTIONS AND DETAILS S10.01 WOODEN ROOF WIND UPLIFT PLAN S10.02 STEEL ROOF WIND UPLIFT AND ROOF DECK

ATTACHMENT PLANS

MECHANICAL

MO.01 GENERAL NOTES M0.02 GENERAL NOTES M2.11 LEVEL 1 - MECHANICAL M2.21 LEVEL 2 - MECHANICAL M2.31 ROOF MECHANICAL M3.01 CONTROL LEGEND AND DIAGRAMS M4.01 MECHANICAL DETAILS M6.01 MECHANICAL SCHEDULES M6.02 MECHANICAL SCHEDULES M6.03 MECHANICAL SCHEDULES MP2.11 LEVEL 1 - MECHANICAL PIPING MP2.21 LEVEL 2 - MECHANICAL PIPING MP3.21 ROOF MECHANICAL PIPING PU2.11 UNDERSLAB — PLUMBING P2.11 LEVEL 1 - PLUMBING P2.21 LEVEL 2 - PLUMBING P4.01 PLUMBING DETAILS FP2.11 LEVEL 1 - FIRE PROTECTION

FP2.21 LEVEL 2 - FIRE PROTECTION

ELECTRICALL

EO.1 ELECTRICAL SYMBOLS AND ABBREVIATIONS E1.1 ELECTRICAL SITE PLAN E2.1 POWER FIRST FLOOR PLAN E2.2 POWER SECOND FLOOR PLAN E2.31 ROOF - ELECTRICAL E3.1 LIGHTING FIRST FLOOR PLAN E3.2 LIGHTING SECOND FLOOR PLAN E4.1 SYSTEMS FIRST FLOOR PLAN E4.2 SYSTEMS SECOND FLOOR PLAN E5.1 ELECTRICAL ONE LINE DIAGRAM E5.2 ENLARGED PLANS E5.3 ENLARGED PLANS E6.1 ELECTRICAL SCHEDULES E6.2 ELECTRICAL SCHEDULES E6.3 ELECTRICAL SCHEDULES

© CORNERSTONE ARCHITECTURAL GROUP

LYNNWOOD

J

유

S

tth Ave SHING

^ O

- AMENDED BY THE STATE OF WASHINGTON AND ALL LOCAL JURISDICTION RULES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR THE EQUIPMENT FURNISHED AND
- THE CONTRACTOR SHALL CONSULT THE PLANS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUIT, CABINETS AND EQUIPMENT, AND SHALL VERIFY THE
- G. SPECIAL INSPECTIONS. OWNER WILL HIRE A TESTING LAB FOR SPECIAL INSPECTIONS AS REQUIRED BY
- CONTRACTOR TO FRAME OPENINGS IN WALLS, CEILINGS AND FLOORS FOR H.V.A.C. AND OTHER MECHANICAL OR ELECTRICAL WORK WHERE REQUIRED AND NOT OTHERWISE SHOWN ON THE PLANS.
- 1) MAXIMUM THRESHOLD HEIGHT TO BE 1/4" OR 1/2" WITH A
- 2) STAIR NOSINGS TO BE FLUSH, SLIP-RESISTANT AND ROUNDED
- GENERAL CONTRACTOR SHALL RESTORE ANY EXISTING CONDITIONS AND SITE WORK DISTURBED DUE TO

THERMAL/MOISTURE PROTECTION (FOR REFERENCE ONLY NO EXTERIOR WORK IS PROPOSED EXCEPT ADDITION OF EXTERIOR DOORS)

- A. OPENINGS. ALL OPENINGS TO BE CAULKED, SEALED OR WEATHER- STRIPPED. ALL FLASHING AND ARCHITECTURAL SHEET METAL TO BE 24 MINIMUM 24 GAUGE PREFINISHED STEEL OR SOLDERED STAINLESS STEEL WHERE INDICATED. 10'-0" LENGTHS, PER DETAILS & SMACNA MANUAL UNLESS OTHERWISE NOTED.
- B. CAULKING AND SEALANTS. USE PRIMERS AS REQUIRED BY MANUFACTURER. BACKING RODS OR TAPE AS RECOMMENDED BY MANUFACTURER. USE POLYURETHANE SEALANTS AT CONCRETE FLOOR AND SIDEWALK
- INSULATION. PROVIDE INSULATION PER WASHINGTON STATE ENERGY CODE TABLE C402.2 AS FOLLOWS:
- ATTIC AND OTHER: R-49 WOOD FRAMED: R-21 INT
- JOIST/FRAMING: R-30 SLAB ON GRADE:
- WEATHER RESISTIVE BARRIER/AIR BARRIER (WRB): PROVIDE A CONTINUOUS VAPOR PERMEABLE SELF-ADHERED WEATHER RESISTIVE BARRIER/AIR BARRIER (WRB) ON THE EXTERIOR OF ALL SHEATHING.

DOORS / WINDOWS

A. GLAZING. PROVIDE GLAZING PER INTERNATIONAL BUILDING CODE AND WASHINGTON STATE ENERGY CODE. GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS OR LAMINATED SAFETY

GLAZING U-VALUE (NFRC 100)

- - PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATIONS CONDUITS, PIPED AND SIMILAR SYSTEMS.

WATER RESISTANT

WEATHER RESISTIVE BARRIER

FIRST FLOOR: 14,720 SF

SECOND FLOOR: <u>7,395 SF</u> TOTAL: <u>22.115 SF</u>

TOTAL STALLS PROVIDED:

EXISTING BLDG. 2: 11,550 SF

EXISTING BLDG. 3: 1,765 SF

EXISTING BLDG. 4: 10,194 SF

EXISTING PARKING LOT:

EXISTING CONC. WALKS:

ADDED PARKING LOT:

ADDED CONC. WALKS:

ADDED ASPHALT FIRE LANE:

REQUIRED PARKING (1 STALL/6 STUDENTS):

EXISTING BLDG. 1: 12,017 SF NEW BLDG. 6: 14,908 SF

BY BLDGS.:.....14%

EXISTING ASPHALT HARD SURFACE: 39,330 SF

IMPERVIOUS AREA (BLDG'S AND HARDSURFACE): 40%

FRONT AND REAR YARDS = 25'; SIDEYARDS = 15'

MAX. BLDG. HT......35 FT ACTUAL BLDG. HT......29'-10"

68 EXISTING (3 ACCESSIBLE)

34 NEW (2 ACCESSIBLE)

2,226 SF

6.139 SF

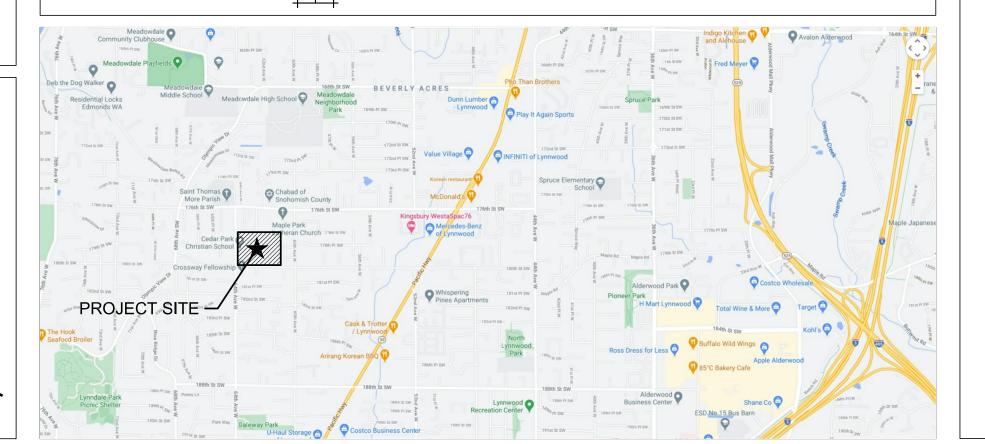
4,052 SF

PARKING:

ELECTRICAL WOOD HARBINGER INC. 929 108th AVE NE. STE 100 BELLEVUE. WA 98004 425-628-6051 SEAN BOLLEN

GEOTECH THE RILEY GROUP INC. 17522 BOTHELL WAY NE BOTHELL. WA 98011 425-415-0551 RICKY WANG

VICINITY MAP



LEGEND

EXISTING PROPOSED

PROPERTY LINE

R.O.W. CENTERLINE

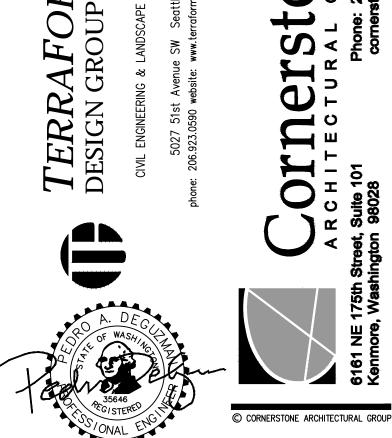
EASEMENT

A.C. PAVING

CONCRETE

---sc--
SAWCUT LINE

RETAINING WALL



○ SITE NOTES

- 1 NEW CONCRETE CURB PER ARCH. PLANS
- 2 NEW CONCRETE WALKWAY PER ARCH. PLANS
- NEW ASPHALT PAVING PER DTL. 1/C1.3
- 4 NEW CURB RAMP PER ARCH. PLANS
 5 NEW CONCRETE STAIRWAY PER ARCH. PLANS
- NEW CONCRETE RAMP WITH RAILING PER ARCH PLANS.
- OVERHEAD CANOPY
- NEW PARKING STRIPING PER ARCH. PLANS
- NEW ADA STRIPING & SIGN PER ARCH. PLANS
- 10 NEW FILTERRA VAULT PER SHT. C1.4A
- 11 EX. TREES TO BE REMOVED (TYP)
 12 CONCRETE WALL PER ARCH. SHT. A1.5
- 13 6' HIGH, BLACK, VINYL CHAINLINK FENCE TY. 3 PER WSDOT STD. PLAN L-20.10-03
- 14 16' WIDE, 6' HIGH BLACK, VINYL CHAINLINK GATE
- DOUBLE GATE PER WSDOT STD. PLAN L-30.10-02.
- 15 DETENTION POND PER SHEET C1.4A 16 15' WIDE POND ACCESS DRIVE PER DTL. 2/C3.3
- 17 RECONSTRUCT EX. MAILBOX
- COORDINATE WITH POSTMASTER

18 SAWCUT & SEAL LINE

A.C. PAVING

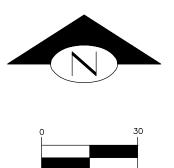
CRUSHED ROCK BASE

SOIL SUBGRADE

3" HOT MIX ASPHALT - CLASS 1/2", OVER 6" TOP COURSE CRUSHED SURFACING PER WSDOT SPEC. 9-03.9(3), OVER COMPACTED SUBGRADE, 95% OF MAX. DRY DENSITY (ASTM D1557)

NOTE: FOR ADDITIONAL PAVING AND COMPACTION REQUIREMENTS, REFER TO GEOTECHNICAL REPORT BY THE RILEY GROUP.





1 inch = 30 ft.

NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING

CALL AT LEAST 2 WORKING

DAYS BEFORE YOU DIG

CALL '811'

EDAR PARK SCHOOLS- LYNNWOOD

17931 64th Ave W

1 YNNWOOD WASHINGTON 9803

AMPUS

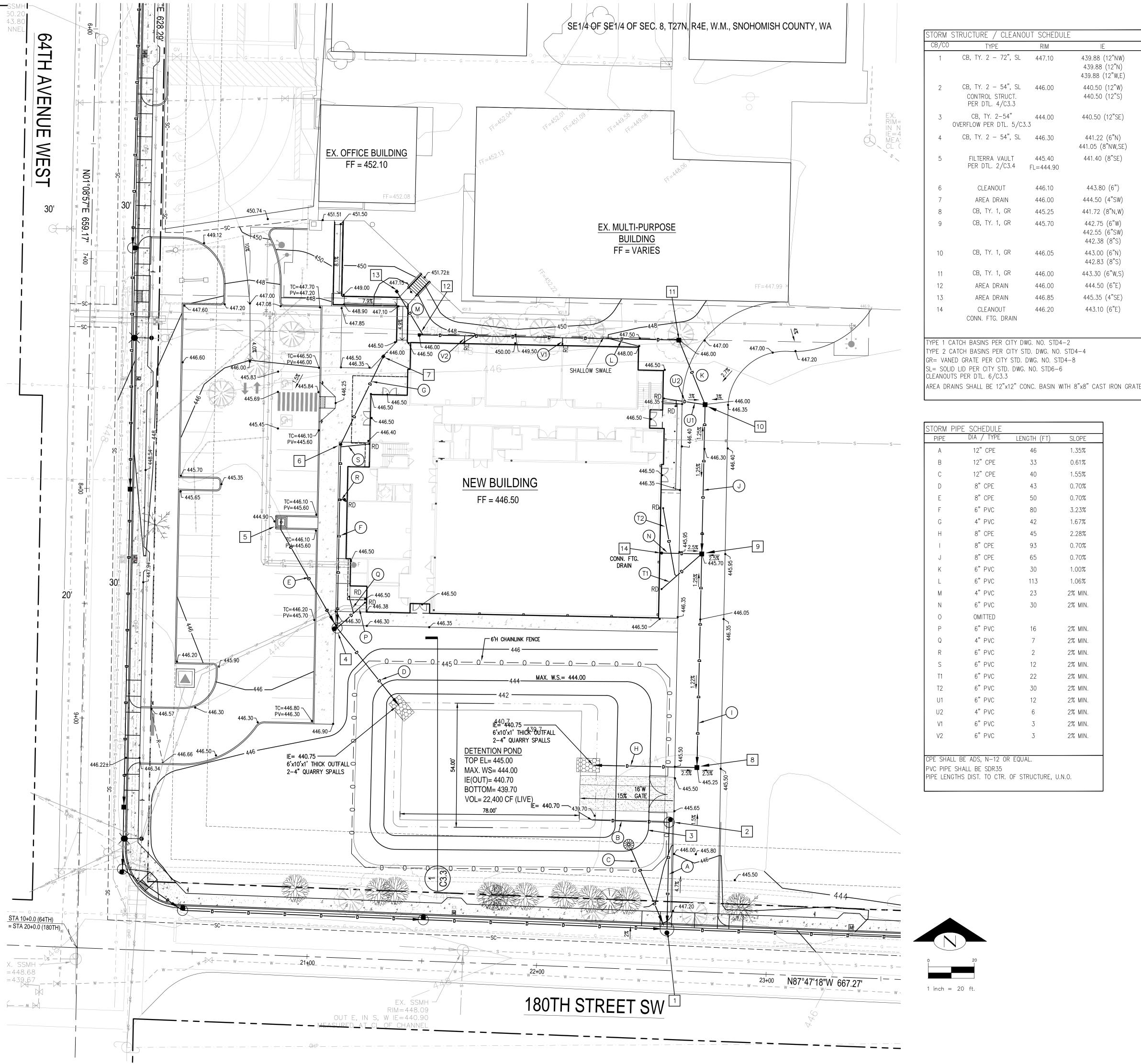
S

JECT NO: 10190

E: 2-11-21

PAVING PI

C1.3



CB/CO	TYPE	RIM	ΙE
1	CB, TY. 2 - 72", SL	447.10	439.88 (12"NW) 439.88 (12"N) 439.88 (12"W,E)
2	CB, TY. 2 - 54", SL CONTROL STRUCT. PER DTL. 4/C3.3	446.00	440.50 (12"W) 440.50 (12"S)
3	CB, TY. 2-54" OVERFLOW PER DTL. 5/C3.	444.00	440.50 (12"SE)
4	CB, TY. 2 - 54", SL	446.30	441.22 (6"N) 441.05 (8"NW,SE)
5	FILTERRA VAULT PER DTL. 2/C3.4	445.40 FL=444.90	441.40 (8"SE)
6	CLEANOUT	446.10	443.80 (6")
7	AREA DRAIN	446.00	444.50 (4"SW)
8	CB, TY. 1, GR	445.25	441.72 (8"N,W)
9	CB, TY. 1, GR	445.70	442.75 (6"W) 442.55 (6"SW) 442.38 (8"S)
10	CB, TY. 1, GR	446.05	443.00 (6"N) 442.83 (8"S)
11	CB, TY. 1, GR	446.00	443.30 (6"W,S)
12	AREA DRAIN	446.00	444.50 (6"E)
13	AREA DRAIN	446.85	445.35 (4"SE)
14	CLEANOUT CONN. FTG. DRAIN	446.20	443.10 (6"E)
PE 2 (= VAN	CATCH BASINS PER CITY DW CATCH BASINS PER CITY ST IED GRATE PER CITY STD. I ID LID PER CITY STD. DWG.	TD. DWG. NO. S DWG. NO. STD4	STD4-4

PIPE	DIA / TYPE	LENGTH (FT)	SLOPE
А	12" CPE	46	1.35%
В	12" CPE	33	0.61%
С	12" CPE	40	1.55%
D	8" CPE	43	0.70%
Е	8" CPE	50	0.70%
F	6" PVC	80	3.23%
G	4" PVC	42	1.67%
Н	8" CPE	45	2.28%
	8" CPE	93	0.70%
J	8" CPE	65	0.70%
K	6" PVC	30	1.00%
L	6" PVC	113	1.06%
М	4" PVC	23	2% MIN.
N	6" PVC	30	2% MIN.
0	OMITTED		
Р	6" PVC	16	2% MIN.
Q	4"PVC	7	2% MIN.
R	6" PVC	2	2% MIN.
S	6" PVC	12	2% MIN.
T1	6" PVC	22	2% MIN.
T2	6" PVC	30	2% MIN.
U1	6" PVC	12	2% MIN.
U2	4" PVC	6	2% MIN.
V1	6"PVC	3	2% MIN.
V2	6" PVC	3	2% MIN.

PVC PIPE SHALL BE SDR35
PIPE LENGTHS DIST. TO CTR. OF STRUCTURE, U.N.O.

LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		R.O.W. CENTERLINE
		EASEMENT
	. 4 . 4 . 4 . 4 . 4 . 4 . 4 . 4 . 4 . 4	CONCRETE
	sc	SAWCUT LINE
7///////		RETAINING WALL
100	 100 	GRADING CONTOUR
+90.00	90.00	SPOT ELEVATION
<u>8"</u> W		WATER MAIN
8" \$	s	SEWER MAIN
<u>12</u> " _D D	12 <u>"</u> D	STORM DRAIN
A	\	FIRE HYDRANT
⊞	8	WATER METER
\bowtie	H	GATE VALVE
\bigcirc		SEWER MANHOLE
	•	STORM CB
		STORM MANHOLE
— — — E — —	——UP——	ELECTRICAL LINE
——— T——	——UP——	TELEPHONE LINE
— — — G — —	——— G ———	GAS LINE
	P	POWER VAULT
-0-	-	UTILITY POLE
ф <u></u>	+	STREET LIGHT
	. =	

PARKING LIGHT

LYNNWOOD CAMPUS SCHOOL

© CORNERSTONE ARCHITECTURAL GROUP

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

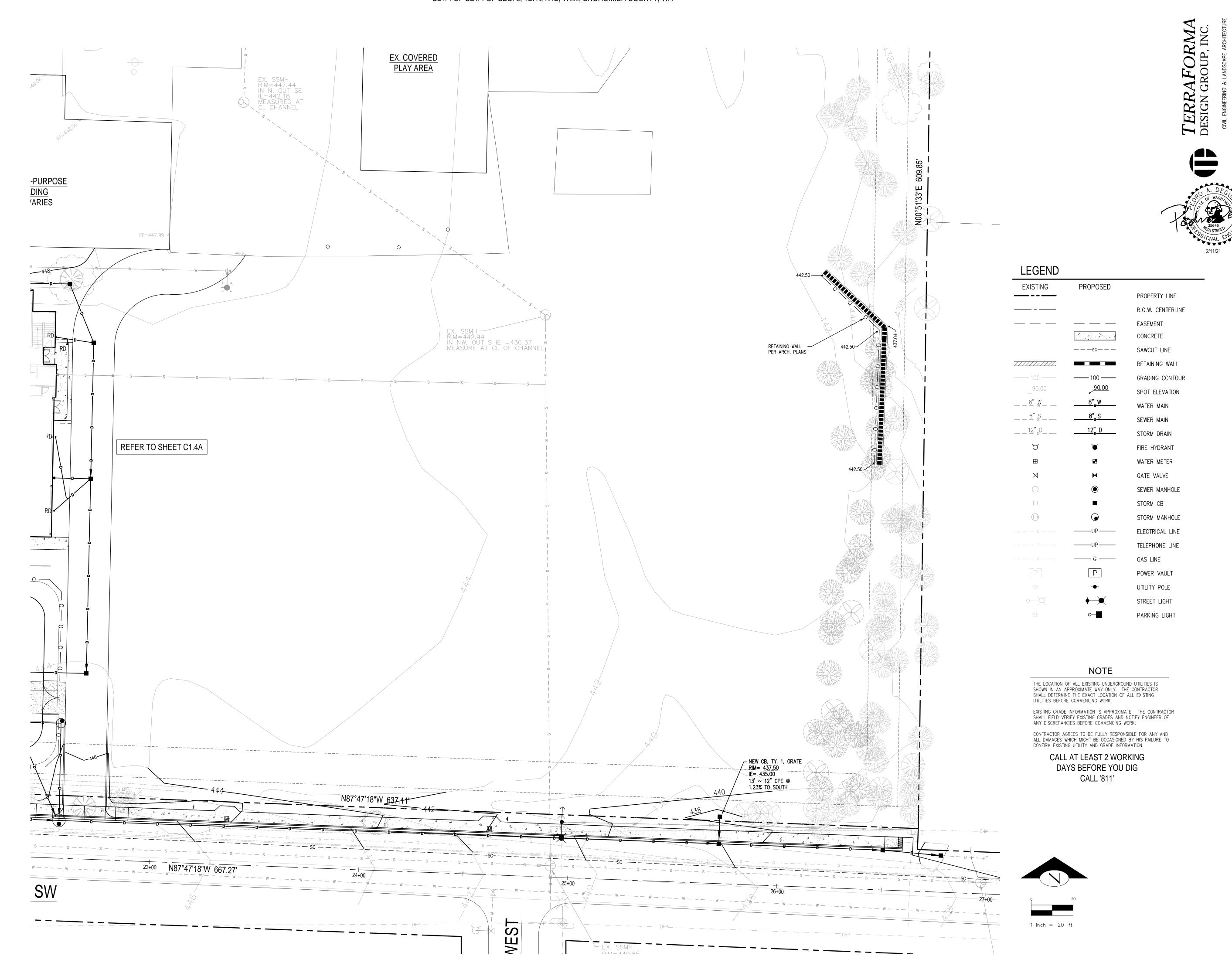
EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG CALL '811'

NOTE

SHEET TITLE: GRADING & [



EDAR PARK SCHOOLS- LYNNWOOD CAMPUS 17931 64th Ave W YNNWOOD, WASHINGTON 98037

© CORNERSTONE ARCHITECTURAL GROUP

GE FLAIN OJECT NO: 1019

NG & DRAINAGE |

ATE: 2-11-21 EVISIONS:

C1.4E

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

> CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG





S

YNNWOOD

SCHOOL

ARK

CED,

✓ WATER NOTES

- * STATIC WATER PRESSURE = 40-50 PSI
- W1 8"x8" TAPPING TEE (FL) PER CITY STD. DTL. 5-11 8" GATE VALVE (FLXMJ) PER CITY STD. DTL. STD5-4A THRUST BLKG. PÈR CITY STD. DTL. 5-05
- W2 83' ~ 8" DI,CL.52
- W3 8"x6" TEE (FLxFL) 8" ADAPTOR (FLxMJ, WEST) 6" GATE VALVE (FLXMJ, NORTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W4A 30' ~ 8" DI,CL.52
- W4B 8"x6" TEE (MJxFL) 8" PLUG (MJ, NORTH) 6" GATE VALVE (FLXMJ, EAST) PER CITY STD. DTL. STD5-4A FIRE HYDRANT ASSY. PER CITY STD. PLAN 5-07 2 ~ GUARD POSTS PER CITY STD. PLAN 5-08 THRUST BLKG. PER CITY STD. DTL. 5-05
- W5 8"x6" TEE (FLxFL) 8" GATE VALVE (FLXMJ, EAST) PER CITY STD. DTL. STD5-4A 6" GATE VALVE (FLxMJ, SOUTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PÈR CITY STD. DTL. 5-05
- W6 252' ~ 8" DI,CL.52
- W7 8"x6" TEE (MJxFL) 6" GATE VALVE (FLXMJ, NORTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05 FIRE HYDRANT ASSY. PER CITY STD. PLAN 5-07 $4 \sim \text{GUARD POSTS PER CITY STD. PLAN } 5-08$ 6" DI,CL.52 SPOOL, RESTRAINED JOINTS
- W8 NEW 1.5" WATER METER & SERVICE PER CITY STD. DTL. 5-02
- W9 NEW 15' WATER EASEMENT TO CITY OF LYNNWOOD
- W10 NEW 1.5" RPBA PER CITY STD. DTL. 5-12B
- W11 186' ~ 2" POLY, SIDR7 SERVICE TO BUILDING
- W12 FIRE SERVICE LINE: 135' ~ 6" DI,CL.52, RESTRAINED JOINTS $1 \sim 6$ " - 90-DEG BEND (MJ)THRUST BLKG. PER CITY STD. DTL. 5-05
- W13 INTERIOR FIRE DCDA & RISER RISER PER CITY STD. DTL. STD5-21 DESIGN / BUILD BY CONTRACTOR REQUIRES SEPARATE FIRE PERMIT
- W14 FDC SERVICE LINE: 141' ~ 6" DI,CL.52, RESTRAINED JOINTS $1 \sim 6$ " - 90-DEG BEND (MJ) $1 \sim 6$ " - 22.5 - DEG BEND (MJ)THRUST BLKG. PER CITY STD. DTL. 5-05
- W15 FIRE DEPARTMENT CONNECTION PER CITY STD. DTL. STD5-20

RIM=435.68 IN W, OUT E IE=426.38 MEASURED AT CL OF CHANNEL

W16 NEW 1" IRRIGATION METER PER CITY STD. DTL. 5-01

1 inch = 30 ft.

W17 NEW 1.5" IRRIGATION DCVA PER CITY DTL. DTL. 5-12A

LEGEND

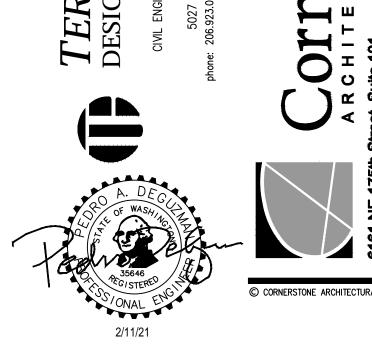
EXISTING PROPOSED PROPERTY LINE R.O.W. CENTERLINE EASEMENT SAWCUT LINE

CHANNELIZATION & SIGNAGE NOTES

- 1 EX. WHITE GORE STRIPE TO BE REMOVED
- 2 NEW WHITE GORE STRIPE PER CITY STD. DTL. STD7-17
- 3 NEW CROSSWALK BARS PER CITY STD. DTL. STD7-20A
- 4 RELOCATE EX. CROSSWALK SIGN TO STA 3+35.0, 20.5'L
- 5 GRIND & REMOVE EX. CROSSWALK BARS
- 6 STA 7+16: NEW CROSSWALK BARS PER CITY STD. DTL. STD7-20A 7 RELOCATE EX. CROSSWALK SIGN TO STA 7+05.0, 27.0'L
- 8 RELOCATE EX. "25 MPH" SIGN TO STA 9+35.0, 27.0'L
- 9 RELOCATE EX. "STOP" & STREET SIGNS TO STA 20+47.0, 27.0'L
- 10 RELOCATE EX. "SCHOOL ZONE" SIGN TO STA 23+20.0, 27.0'L 11 RELOCATE EX. CROSSWALK AHEAD SIGN TO STA 24+70.0, 27.0'L

1 inch = 30 ft.

** SIGN INSTALLATION PER CITY STD. DTL. STD7-16 (TYP)



LYNNWOOD CAMPUS

SCHOOL

SW 180TH ST _EX. DBL. YELLOW CENTER STRIPE 64TH AVENUE WEST 64TH AVENUE WEST - CHANNELIZATION & SIGNAGE 1 inch = 30 ft.180TH STREET SW 63RD PL WEST

180TH STREET SW - CHANNELIZATION & SIGNAGE

21.08.300 General landscaping standards. A. General Site Preparation.

1. Compacted Soil. During site preparation soil must be loosened or uncompacted in landscape areas where necessary due to compaction. Soil must be uncompacted, at minimum, down to 24 inches below surface grade in any landscape buffer, street frontage, or parking lot landscaping areas. Depth of soil that is loosened or uncompacted may be less if recommended by the qualified landscape professional. Where necessary soil amendments may be added from a verified source.

2. Root Barriers. Trees planted within 10 feet of a public street, sidewalk, paved trail, or walkway must be a deep-rooted species and must be separated from hardscapes by a root barrier to prevent physical damage to public improvements.

3. Alternative Root Diversion. Alternative root diversion and barrier techniques will be considered if the applicant states the root diversion method on the landscape plans and provides a letter and any exhibits from the qualified landscape professional explaining how the method achieves the desired outcome.

B. General Plant Standards (Groundcover, Shrubs, and Trees).

1. Plant Selection. Plants must be appropriate for the Puget Sound lowland region. Permitted plants and trees are allowed as

a. Prohibited Plants. Plants listed by the Washington State Noxious Weed Control Board in their Noxious Weed List or subsequent document, or commonly known as invasive species, are prohibited from being planted in the city.

b. Permitted Plants. Landscaping materials installed shall include species native to the Puget Sound lowland region of the Pacific Northwest or noninvasive species that have adapted to the climactic conditions of the region. Drought—tolerant or drought-resistant vegetation is preferred.

2. Plant Variety. Plant material should include a variety of seasonal colors, forms, and textures that contrast or complement each other with a mixture of evergreen and deciduous trees, shrubs, and groundcover and low-maintenance perennials. Preference must be given to plant material which can be maintained in its natural form without pruning over material requiring regular pruning or plants pruned into artificial shapes. Continuous expanses of uniform landscape treatment along an entire street front should be avoided.

C. General Tree Standards.

1. Trees must be selected from the city's Tree Preservation and Protection Guidelines and meet the following standards:

a. A mixture of deciduous and evergreen trees must be planted in all landscaped areas of a site with exceptions noted in the specific landscaping sections of this chapter.

b. Trees must be suitable to the site and, if applicable, provide adequate screening throughout the entire life of the tree.

c. Deciduous and evergreen trees must be a minimum of eight feet in height and have a caliper size of at least two inches at time of planting.

d. Trees must be planted so that, when they reach maturity, there will be a minimum of 10 feet of clearance on—center

e. Tree selection within all landscape areas, including street trees, must comply with Snohomish PUD utility requirements, other existing utilities (stormwater, water, and wastewater conveyance systems), lighting, existing and proposed signage, adjacent trees, existing natural features, tree root growth, solar access, planting area width, and overall height of selected trees at maturity.

f. Trees must be arranged to promote energy conservation wherever practical: This includes using deciduous trees on the south and west sides of buildings to provide shade from summer sun and evergreen trees on the north side of buildings to dissipate effects of winter wind and rain.

g. Tree branches must be trimmed to provide a minimum of six feet of clearance measured from the ground to the branch to prevent sight and pedestrian obstructions. Tree branches must be trimmed to provide eight feet of clearance when overhanging vehicular use areas.

h. If more than 10 trees are required to be installed, no more than 40 percent of the new trees may be of a single species. This applies to the new trees to be planted, not to the existing

i. The specific number of trees required for a landscaped area on a site may be found under the respective section of this chapter.

j. Trees may be planted in linear rows, staggered rows, or clustered. However, all trees shall be planted a minimum of five feet on-center from back of public sidewalk edge.

D. General Shrub and Groundcover Standards.

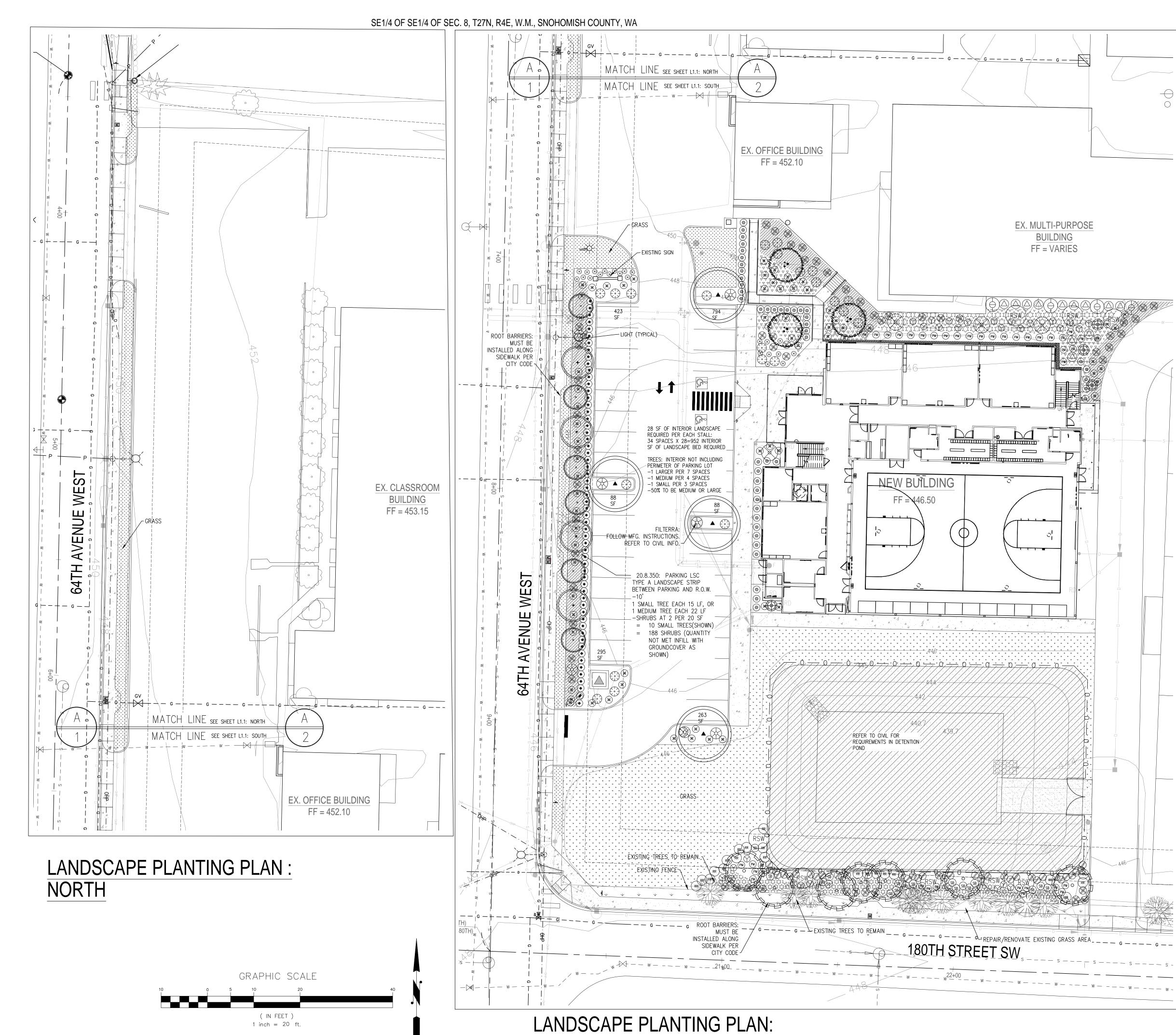
1. Groundcover. All areas of exposed earth not covered by trees or other plants must have living groundcover installed unless otherwise

2. Motorist Visibility. In driveway and roadway sight triangles and parking lot frontage strips, shrubs and groundcover must be composed of low evergreen shrubs or a mix of evergreen and non-evergreen shrubs with a maximum growth height of three feet.

3. Nonliving Groundcover. Nonliving groundcover (noncompacted, unless a functional part of a LID system) may not be used as living groundcover substitutes. However, up to three percent of the site's entire landscaped area may be landscaped with nonliving groundcover. Nonliving groundcover may not be installed within three feet of pedestrian walkways.

4. Landscape Areas Abutting Parking Stalls. If curbing or wheel stops are installed along an edge of a parking space that abuts a landscaped area, groundcover or plants may be installed adjacent to the stall. Otherwise a minimum area of two feet from the pavement edge shall be free of plants or shrubs. Grasses or groundcover may be planted in this area.

NOTE: ONLY PORTION OF CODE FOR GENERAL INFORMATION ONLY. REFER TO ENTIRE CODE AND CITY COMMENTS FOR ALL REQUIRED INFORMATION.



SOUTH

© CORNERSTONE ARCHITECTURAL GROUP STATE OF 2/11/21 REGISTERED

LANDSCAPE ARCHITECT

AKEMI RAE SAKAIDA

CERTIFICATE NO. 794

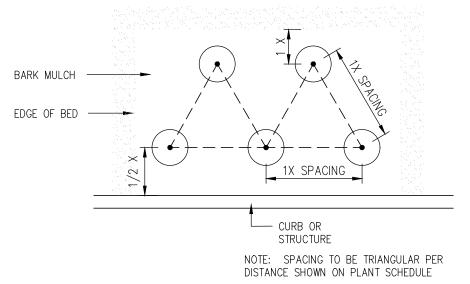
EXPIRES 06/16/22

AMPU SCH00

TREE PLANTING DETAIL

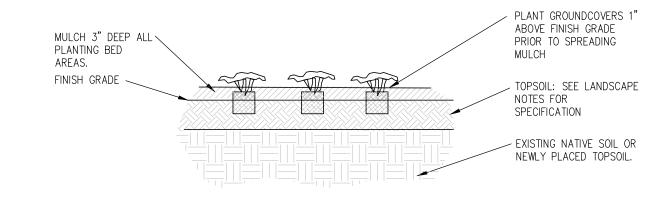
CONTAINER SHRUB PLANTING DETAIL

SCALE: N.T.S.



GROUNDCOVER SPACING

SCALE: N.T.S.



4 GROUNDCOVER PLANTING DETAIL

LANDSCAPE NOTES

GENERAL:

* UTILITY LOCATION: DETERMINE ALL ABOVE GRADE AND UNDERGROUND UTILITIES BEFORE COMMENCING WORK. ALL WORK TO BE COMPLETED TO AVOID ANY DAMAGE. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.

- 1. ALL EXISTING VEGETATION AREAS TO RECEIVE NEW LANDSCAPE SHALL BE CLEARED AND GRUBBED FROM THE SITE PRIOR TO COMMENCEMENT OF LANDSCAPE WORK. NOTIFY OWNER REPRESENTATIVE IF THERE IS AN AREA THAT IS NOT DAMAGED AND PLANTS CAN REMAIN THAT IS WITHIN PROJECT LANDSCAPE.
- 2. DO NOT DISTURB ANY TREES OR PLANTS THAT ARE TO REMAIN. PROTECT FROM CONSTRUCTION DAMAGE. REMOVE ANY TREE ROOTS FROM TREES REMOVED. AVOID DISTURBANCE TO EXISTING TREES AND THEIR ROOTS.
- 5. CONTRACTOR SHALL GUARANTEE PLANTS AND GRASS FOR A MINIMUM OF ONE YEAR AFTER APPROVED COMPLETION.
- 6. IMMEDIATELY NOTIFY TERRAFORMA DESIGN GROUP OF ANY ADVERSE CONDITIONS OR CONFLICTS WHICH MAY AFFECT HEALTH OF PLANT MATERIAL.

PLANTING BEDS:

- 1. ALL PLANTING BEDS TO BE NONCOMPACTED TO A DEPTH OF 24".
 PLANTING BEDS TO HAVE ADDITIONAL APPROVED TOPSOIL OR AMMENDED
 TOPSOIL DEPENDING ON SITE GRADES AFTER CONSTRUCTION. ALLOW FOR AN
 ADDITIONAL 3" OF COMPOST FOR AMENDMENT INTO EXISTING BEDS, BLENDED
 INTO THE TOP 8". ALL PLANTING BEDS TO HAVE POSITIVE DRAINAGE. ASSUME
 12" APPROVED TOPSOIL FOR NEW PLANTING BEDS.
- TERRAFORMA DESIGN GROUP IF THERE IS A DISCREPANCY.

 3. ALL PLANT MATERIAL TO BE WELL BRANCHED, FREE FROM DISEASE OR

2. CONTRACTOR TO VERIFY PLANT QUANTITIES AND SQUARE FOOTAGE. NOTIFY

- PEST, AND HAVE A WELL DEVELOPED ROOT SYSTEM. ALL MATERIAL TO MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- 5. PLANT MATERIAL PLANTED TO BE SAME AS OR NO MORE THAN 1" HIGHER THAN CURRENT GROWTH RATE AT FINISH GRADE.
- WATER HEAVILY AT FIRST , 3 TIMES PER WEEK, AND LESS ONCE ESTABLISHED.

 7. ALL GRASS/HYDROSEED IS TO BE MAINTAINED AND ESTABLISHED FOR A

6. WATER PLANTS THOROUGHLY DURING PLANTING AND IMMEDIATELY FOLLOWING.

- 7. ALL GRASS/HYDROSEED IS TO BE MAINTAINED AND ESTABLISHED FOR A MINIMUM OF 3 MONTHS BY CONTRACTOR. CONTRACTOR TO REPAIR ANY AREAS WHERE GRASS IS LESS THAN 85% VITALITY DURING WARRANTY PERIOD.
- 7. ORGANIC FINE/MEDIUM DARK MULCH TO BE A MINIMUM OF 3" DEPTH IN ALL PLANTING BEDS.
- 8. STAKES TO BE COMPLETELY REMOVED BY CONTRACTOR PRIOR TO 1 YEAR. CHECK QUARTERLY FOR DAMAGE OR ADJUSTMENTS NEEDED.

IRRIGATION:

- 1. UNKNOWN AT THIS TIME IF THERE IS AN EXISTING SYSTEM.
- 2. IRRIGATION SYSTEM TO BE EITHER DESIGN/INSTALL BY CONTRACTOR OR IRRIGATION PLAN TO BE SUBMITTED ONCE FINAL SITE PLAN AND PLANTING IS APPROVED.
- 3. IRRIGATION IS TO CONFIRM TO ALL CODES AND ADHERE TO INDUSTRY STANDARDS OR BETTER.

SITE CONSTRUCTION:

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND LOCATE AND EXISTING OR PROPOSED UTILITIES. ANY DAMAGE DONE BY NOT LOCATING, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITE INFORMATION, TO INCLUDE BUT NOT LIMITED TO: WORK AREA, EROSION CONTROL, PROTECTION PRACTICES.

NOTE
THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTO SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.
CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG CALL '811'

PLANT SCHEDULE

SCIENTIFIC NAME

TREES

	SYMBOL	COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES	Wany akada
		— EXISTING TREES				REFER TO SURVEY FOR EXISTING TREE INFORMATION. REFER TO DEMO PLAN, CIVIL, AND XXX FOR INFORMATION ON REMOVAL AND OR PROTECTION OF TREES.	AKEMI RAE SAKAIDA CERTIFICATE NO. 794 EXPIRES 06/16/22
A A A A A A A A A A A A A A A A A A A		— ACER GRISEUM PAPERBARK MAPLE	3	2" CAL. (MIN.)	AS SHOWN (MAX.)	MATCHING FORM, SINGLE TRUNK FOR A MINIMUM OF	18"
A. Carrier		 GLEDITSIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST 	4	2" CAL. (MIN.)	AS SHOWN (MAX.)	MATCHING FORM, LOWEST BRANCHES TO BE 5' MINIM	UM CLEAR
		 MALUS ADIRONDACK ADIRONDACK CRABAPPLE 	6	2" CAL. (MIN.)	AS SHOWN (MAX.)	SINGLE TRUNK, LOWEST BRANCHES TO BE 4' CLEAR	MINIMUM
	+	PRUNUS 'SNOW GOOSE'SNOW GOOSE CHERRY	4	2" CAL. (MIN.)	AS SHOWN (MAX.)	SINGLE TRUNK, LOWEST BRANCHES TO BE 4' CLEAR	MINIMUM
		 CHAMAECYPARIS OBTUSA GRACILIS SLENDER HINOKI CYPRESS 	1	8' TALL	AS SHOWN	FULL, BUSHY, STRONGLY UPRIGHT	
	NOTE:	— THUJA PLICATA WESTERN RED CEDAR	7	8' TALL	AS SHOWN	FULL, BUSHY, STRONGLY UPRIGHT	
	_ ALL EVEDODEEN TOEES ME	ASTIRED FROM THE TOP OF CROTIND TO LIPPER BRA	MICHES				

— ALL EVERGREEN TREES MEASURED FROM THE TOP OF GROUND TO UPPER BRANCHES.

— ALL TREES TO MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL TREES TO HAVE SINGLE TRUNK AND MATCHING FORM.

SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
CAMELLIA SASANQUA SASANQUA CAMELLIA	4	10 GALLON	AS SHOWN	FULL, WELL SHAPED
CORNUS 'ARCTIC FIRE' ARCTIC FIRE REDTWIG DOGWOOD	12	3 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
SYRINGA MEYERI DWARF LILAC	7	5 GALLON FILTERRA: MAXIMUM	AS SHOWN SIZE PER MFG	FULL, WELL SHAPED CONTRACTOR TO COORDINATE WITH CONTECH FOR FILTERRA
NANDINA 'GULF STREAM' GULF STREAM NANDINA	45	3 GALLON	AS SHOWN	MULTI- STEM, FULL
MAHONIA AQUIFOLIUM TALL OREGON GRAPE	37	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
PIERIS 'FOREST FLAME' FOREST FLAME ANDROMEDA	4	5 GALLON	AS SHOWN	FULL, WELL SHAPED
PINUS MUGHO PUMILIO DWARF PUMILIO MUGHO PINE	23	3 GALLON	AS SHOWN	FULL, HEALTHY FOLIAGE, STRONG
PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL	60	3 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
RIBES SANGUNNEUM "WHITE ICICLE" WHITE FLOWERING CURRANT	8	3 GALLON	AS SHOWN	MULTI-STEM, STRONGLY UPRIGHT
ROSA RUGOSA 'SCABROSA' RUGOSA ROSE 'SCABROSA'	21	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
SPIREA LUCIDA SHINYLEAF SPIREA	20	2 GALLON	AS SHOWN	MULTI-STEM, STRONGLY UPRIGHT
SPIREA 'SHIROBANI' SHIROBANI SPIREA	72	2 GALLON	AS SHOWN	BUSHY, FULL
VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	26	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS., FULL, WELL ROOTED
	COMMON NAME CAMELLIA SASANQUA SASANQUA CAMELLIA CORNUS 'ARCTIC FIRE' ARCTIC FIRE REDTWIG DOGWOOD SYRINGA MEYERI DWARF LILAC NANDINA 'GULF STREAM' GULF STREAM NANDINA MAHONIA AQUIFOLIUM TALL OREGON GRAPE PIERIS 'FOREST FLAME' FOREST FLAME ANDROMEDA PINUS MUGHO PUMILIO DWARF PUMILIO MUGHO PINE PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL RIBES SANGUNNEUM "WHITE ICICLE' WHITE FLOWERING CURRANT ROSA RUGOSA 'SCABROSA' RUGOSA ROSE 'SCABROSA' SPIREA LUCIDA SHINYLEAF SPIREA SPIREA 'SHIROBANI' SHIROBANI SPIREA VACCINIUM OVATUM	COMMON NAME CAMELLIA SASANQUA SASANQUA CAMELLIA CORNUS 'ARCTIC FIRE' ARCTIC FIRE REDTWIG DOGWOOD SYRINGA MEYERI DWARF LILAC NANDINA 'GULF STREAM' GULF STREAM NANDINA MAHONIA AQUIFOLIUM TALL OREGON GRAPE PIERIS 'FOREST FLAME' FOREST FLAME ANDROMEDA PINUS MUGHO PUMILIO DWARF PUMILIO MUGHO PINE PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL RIBES SANGUNNEUM "WHITE ICICLE' WHITE FLOWERING CURRANT ROSA RUGOSA 'SCABROSA' SPIREA LUCIDA SHINYLEAF SPIREA SPIREA 'SHIROBANI' SHIROBANI SPIREA VACCINIUM OVATUM 26	COMMON NAME QUANTITY SIZE (MIN.) CAMELLIA SASANQUA SASANQUA CAMELLIA CORNUS 'ARCTIC FIRE' ARCTIC FIRE REDTWIG DOGWOOD SYRINGA MEYERI DWARF LILAC NANDINA 'GULF STREAM' GULF STREAM' GULF STREAM NANDINA MAHONIA AQUIFOLIUM TALL OREGON GRAPE PIERIS 'FOREST FLAME' FOREST FLAME ANDROMEDA PINUS MUGHO PUMILIO DWARF PUMILIO MUGHO PINE PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL RIBES SANGUNNEUM "WHITE ICICLE' RIBES SANGUNNEUM "WHITE ICICLE' RIBES SANGUNNEUM "WHITE ICICLE' RIBES CABROSA' RUGOSA ROSE 'SCABROSA' RUGOSA ROSE 'SCABROSA' SPIREA LUCIDA SHINYLEAF SPIREA SPIREA 'SHIROBANI' SHIROBANI SPIREA VACCINIUM OVATUM 12 3 4 10 6ALLON FILTERRA: MAXIMUM ASALLON FILTERRA: MAXIM	COMMON NAME QUANTITY SIZE (MIN.) SPACING (MAX.) CAMELLIA SASANQUA SASANQUA CAMELLIA CORNUS 'ARCTIC FIRE' ARCTIC FIRE REDTWIG DOGWOOD SYRINGA MEYERI DWARF ILLAC NANDINA 'GULF STREAM' GULF STREAM' GULF STREAM NANDINA MAHONIA AQUIFOLIUM TALL OREGON GRAPE PIERIS 'FOREST FLAME' FOREST FLAME ANDROMEDA PINUS MUGHO PUMILIO DWARF PUMILIO MUGHO PINE PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL RIBES SANGUNNEUM "WHITE ICICLE' WHITE FLOWERING CURRANT ROSA RUGOSA 'SCABROSA' RUGOSA ROSE 'SCABROSA' SPIREA LUCIDA SPIREA SHOWN SIZE (MIN.) AS SHOWN AS SHOWN

GROUNDCOVER/GRASSES/PERENNIALS

	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
	- CALLUNA VULGARIS HEATHER	24	1 GALLON	AS SHOWN	FULL: WHITE, OR PURLPE FLOWER OR COLORED FOLIAGE (SPRING TORCH)
⊗ ———	MISCANTHUS ADIAGO ADIAGO DWARF MAIDEN GRASS	55	1 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
(PM)	POLYSTICHUM MUNITOM SWORD FERN	37	1 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
	CAREX 'ICE DANCER' ICE DANCER VARIEGATED SEDGE	90	1 GALLON	36" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	FRAGARIA 'LIPSTICK' LIPSTICK ORNAMENTAL STRAWBERRY	200	4" POTS	30" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	MAHONIA REPENS CREEPING OREGON GRAPE	75	1 GALLON	36" TRIANGULAR	FULL, BUSHY, MULTI-STEM
**************************************	GRASS PERENNIAL RYE MIX SOD	2950 SF APPROX.	-	-	NO NET SOD. PROVIDE OPTION TO OWNER REPRESENTATIVE FOR HYDROSEED (COST AND TIME OF YEAR DEPENDANT)
\(\frac{\psi}{\psi}\) \(\psi\)	GRASS HYDROSEED OR PERENNIAL RYE MIX SOD	8050 SF APPROX.	-	-	WITH AMMENDED TOPSOIL AND MULCH AND TACKIFIER

APPROX.

GROUNDCOVER QUANTITY IS APPROXIMATE ONLY.
 GROUNDCOVER IS NOT REQUIRED UNDER SHRUB CANOPY OR WITHIN TREE WELL AREAS.

DETENTION POND:

REFER TO CIVIL FOR GRASS AND OTHER REQUIREMENTS

© CORNERSTONE ARCHITECTURAL GROUP

STATE OF 2/11/21

WASHINGTON REGISTERED

LANDSCAPE ARCHITECT

ERMIT

© CORNERSTONE ARCHITECTURAL GROUP

34th Ave W ASHINGTON 98037

LYNNWOOD

7

9803

64th Ave W /ASHINGTON !

17931 LYNNWOOD, \

LYNNWOOD

7

SCHO

ABBREVIATIONS

2" BLACK STRIPE (ALL LINES IN GYM ARE "BS" U.O.N)

1" FABRIC FACES ACOUST. WALL PANEL 2" RIGID FACES ACOUST. WALL PANEL

5' LONG BICYCLE RACKS. SEE 5/A1.6

FIRE EXTINGUISHER AND WALL BRACKET

ABOVE FINISHED FLOOR

BLACK OUT SHADES SEE

2" BLUE STRIPE

DISPLAY CASE.

2" GREEN STRIPE

MAGNETIC HOLD OPEN

INTERCOM DISPLAY

LOCK DOWN BUTTON

KNOX BOX MARKER BOARD

ENTRY MAT

CARPET

CYCLORAMA CURTAIN

FIRE ALARM ANNUNCIATOR

FIRE EXTINGUISHER AND CABINET

LOCKERS W/ COMBINATION LOCKS

MOTORIZED PROJECTION SCREEN, SEE ELEC.

AWP-1

BOS

BLS

CC

CPT

DC

EM

FAA

FEB

FEC

GS

ID

LDB

LOC

KB

MPROJ

OH

PM RS 2" RED STRIPE RTF RUBBER TILE FLOOR

SKP SECURITY KEYPAD SSBB SIDE SWING BASKETBALL BACKSTOP SMBB SIDE MOUNTED BASKETBALL BACKSTOP

SWP SLATWALL PANEL TACKBOARD TOUCH SCREEN WALL MONITOR VOLLEYBALL STANDARD SLEEVE

WALL MOUNTED MONITOR WALL MOUNTED COAT HOOKS 6" O.C. WALL PAD

2" YELLOW STRIPE

LEGEND

LEGEND FIRE EXTINGUISHER W/ CABINET

PER DETAIL 5/A10.2 FIRE EXTINGUISHER SURFACE MOUNTED

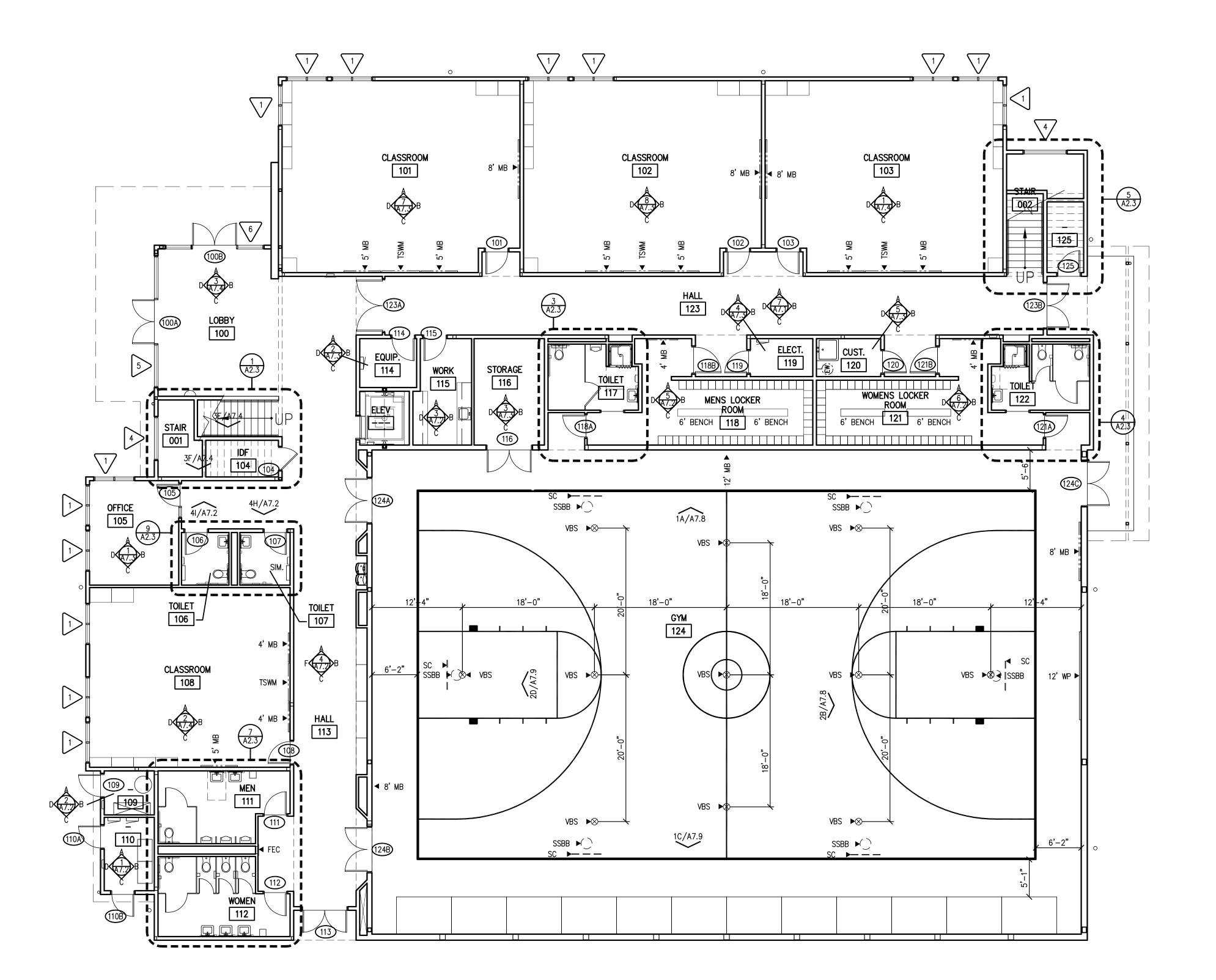
FOR SIGNS, SEE SIGN SCHEDULE

D B INTERIOR ELEVATIONS DOOR NUMBERS

999 ROOM NAME/NUMBER DECORATIVE STEEL PANEL

NOTES

- 1. SEE SHEETS A6.1 AND A6.2 FOR ROOM FINISH & DOOR SCHEDULES, DOOR &
- 2. SEE INTERIOR ELEVATIONS FOR ADDITIONAL TACKBOARDS, ACOUSTICAL WALL PANELS, ETC.
- 3. PROVIDE CORNER GUARDS ON ALL OUTSIDE CORNERS.
- 4. SEE A7 SHEETS FOR STANDARD MOUNTING HEIGHTS DETAIL & INTERIOR ELEVATIONS. 4' HIGH PLASTIC LAMINATE WAINSCOT AROUND ALL SERVICE SINKS,
- 5. ALL INTERIOR & EXTERIOR WINDOWS OR RELIGHTS TO HAVE BLINDS



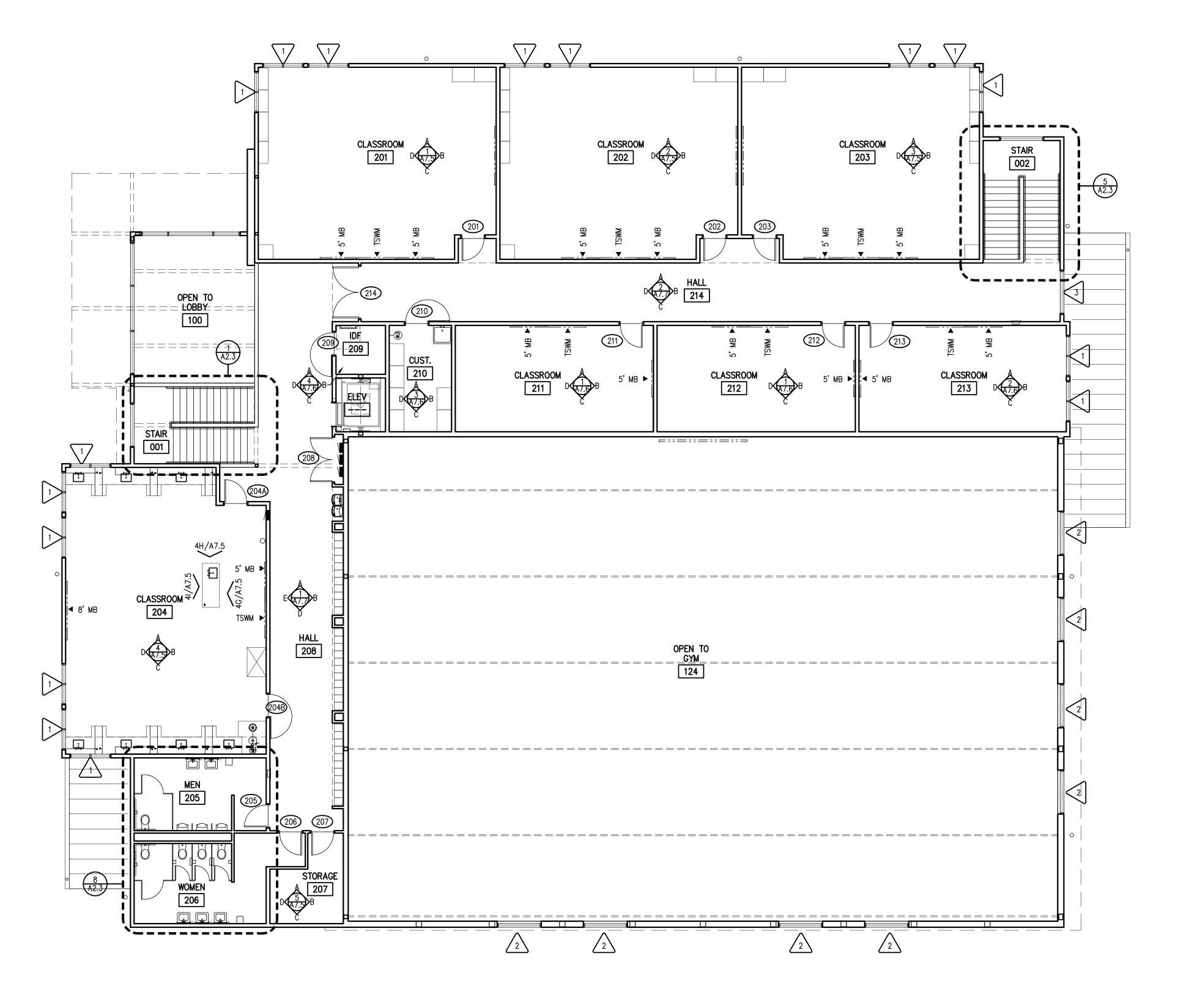


FIRST FLOOR EQUIPMENT & FINISHES PLAN

SCALE: 1/8"= 1'-0"

SHEET I

FIRST FLOOR EQUIPMENT & PLAN



SCALE: 1/8"= 1'-0"



ABBREVIATIONS

AFF ABOVE FINISHED FLOOR 1" FABRIC FACES ACOUST. WALL PANEL 2" RIGID FACES ACOUST. WALL PANEL BOS BLACK OUT SHADES SEE 2" BLACK STRIPE (ALL LINES IN GYM ARE "BS" U.O.N) 5' LONG BICYCLE RACKS. SEE 5/A1.6 BLS 2" BLUE STRIPE CC CYCLORAMA CURTAIN CPT CARPET DC DISPLAY CASE. EM ENTRY MAT FAA FIRE ALARM ANNUNCIATOR FEB FIRE EXTINGUISHER AND WALL BRACKET FEC FIRE EXTINGUISHER AND CABINET GS 2" GREEN STRIPE MAGNETIC HOLD OPEN ID INTERCOM DISPLAY LDB LOCK DOWN BUTTON LOC LOCKERS W/ COMBINATION LOCKS KB KNOX BOX MB MARKER BOARD MOTORIZED PROJECTION SCREEN, SEE ELEC. MPROJ METAL SHELVING OH OTHER HAND PM PROJECTOR MOUNT PMBB POLE MOUNTED BASKETBALL BACKSTOP (OUTSIDE ONLY) RS 2" RED STRIPE RTF RUBBER TILE FLOOR SKP SECURITY KEYPAD SSBB SIDE SWING BASKETBALL BACKSTOP SIDE MOUNTED BASKETBALL BACKSTOP SLATWALL PANEL TACKBOARD TOUCH SCREEN WALL MONITOR VBS VOLLEYBALL STANDARD SLEEVE WM WALL MOUNTED MONITOR WALL MOUNTED COAT HOOKS 6" O.C. WALL PAD 2" YELLOW STRIPE

LEGEND

LEGEND

FIRE EXTINGUISHER W/ CABINET

FIRE EXTINGUISHER SURFACE MOUNTED

FOR SIGNS, SEE SIGN SCHEDULE

PER DETAIL 5/A10.2

D INTERIOR ELEVATIONS

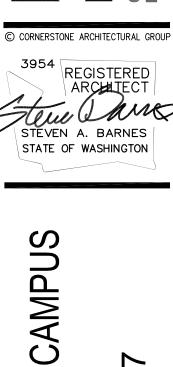
DOOR NUMBERS

999 ROOM NAME/NUMBER

DECORATIVE STEEL PANEL

NOTES

- 1. SEE SHEETS A6.1 AND A6.2 FOR ROOM FINISH & DOOR SCHEDULES, DOOR &
- 2. SEE INTERIOR ELEVATIONS FOR ADDITIONAL TACKBOARDS, ACOUSTICAL WALL PANELS, ETC.
- 3. PROVIDE CORNER GUARDS ON ALL OUTSIDE CORNERS.
- 4. SEE A7 SHEETS FOR STANDARD MOUNTING HEIGHTS DETAIL & INTERIOR ELEVATIONS. 4' HIGH PLASTIC LAMINATE WAINSCOT AROUND ALL SERVICE SINKS,
- 5. ALL INTERIOR & EXTERIOR WINDOWS OR RELIGHTS TO HAVE BLINDS



ARCHITECTURAL GROUP
Phone: 206.682.5000

34th Ave W ASHINGTON 98037 LYNNWOOD STO

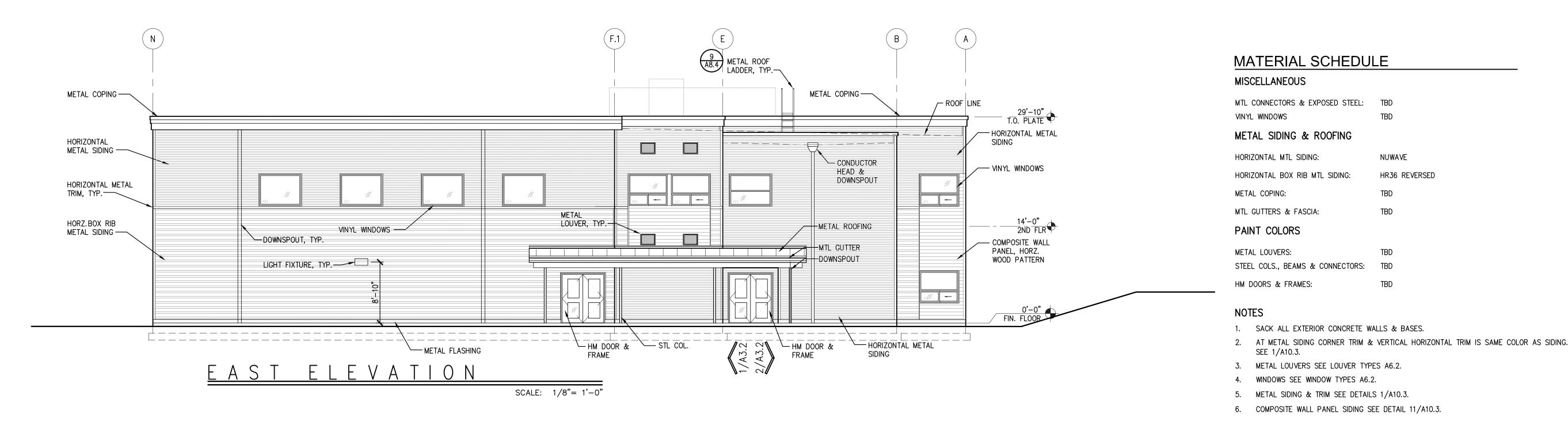
SECOND FLOC EQUIPMENT & PLAN

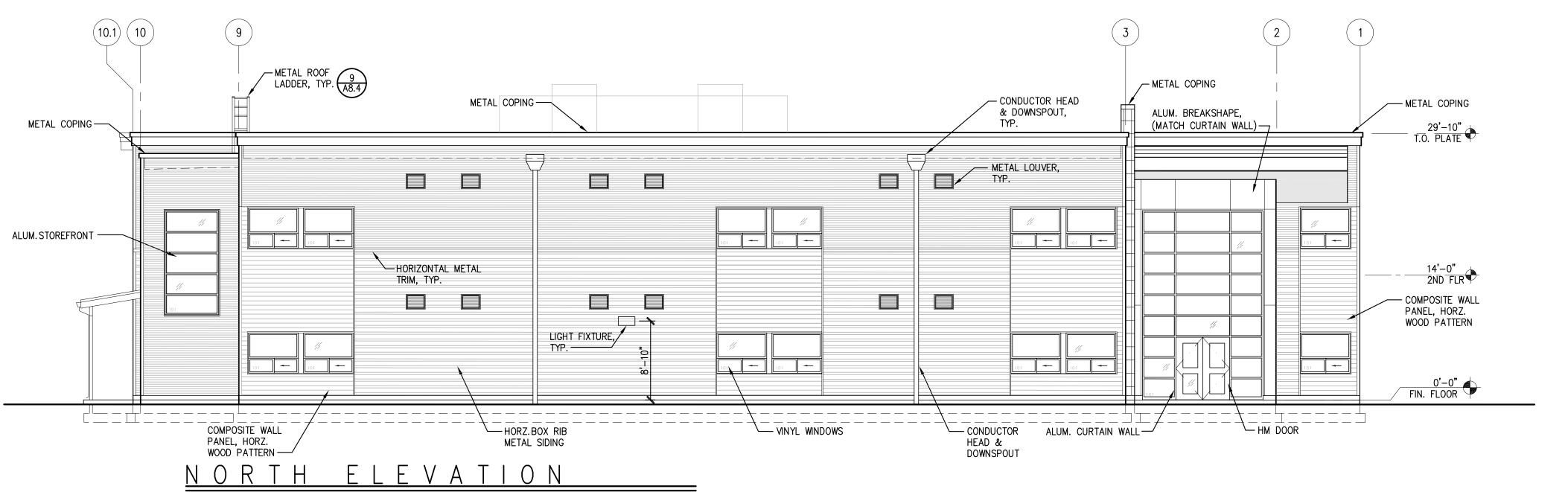
NUWAVE

SEE 1/A10.3.

WINDOWS SEE WINDOW TYPES A6.2.

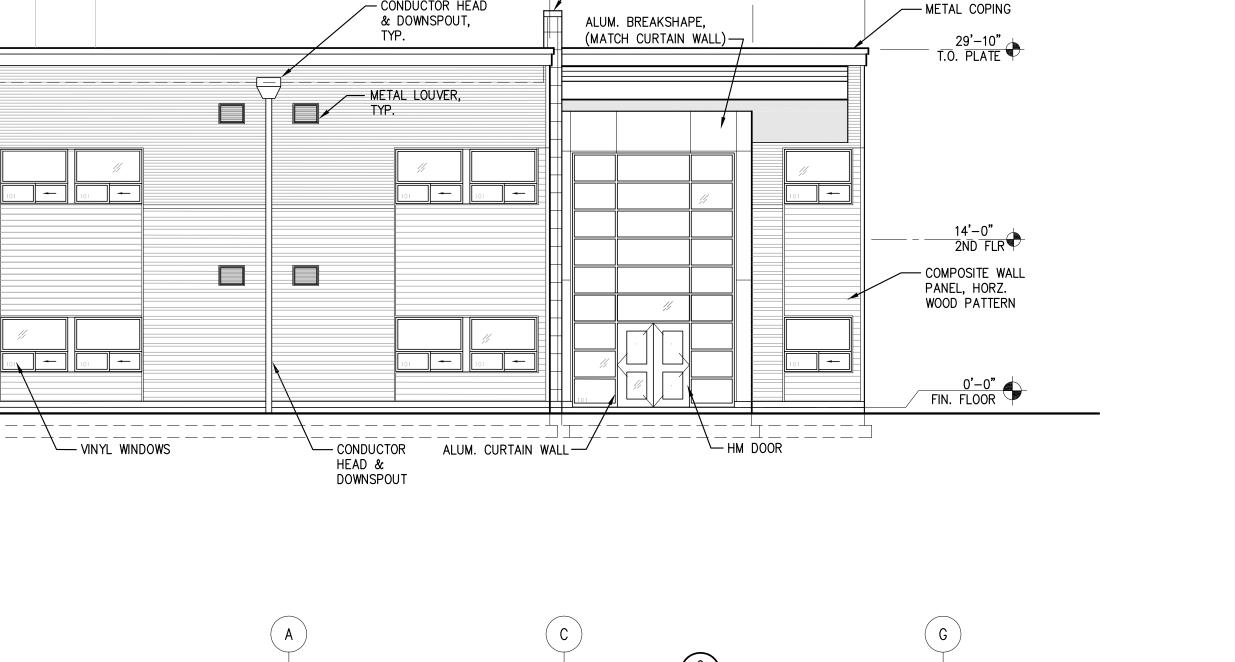
HR36 REVERSED

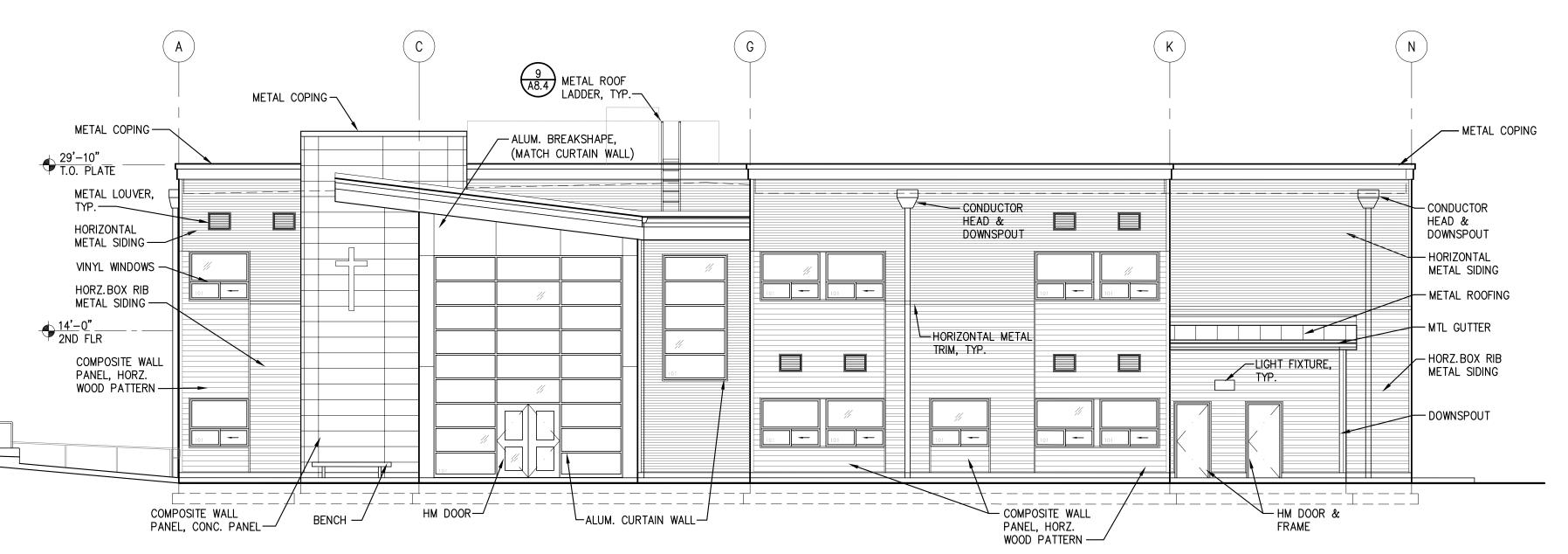




— EXISTING BLDG.

ACCESS RAMP/STAIR-





<u>WEST ELEVATION</u>

SCALE: 1/8"= 1'-0"



MATERIAL SCHEDULE

MISCELLANEOUS

MTL CONNECTORS & EXPOSED STEEL: TBD VINYL WINDOWS

METAL SIDING & ROOFING

HORIZONTAL MTL SIDING: NUWAVE HORIZONTAL BOX RIB MTL SIDING: HR36 REVERSED METAL COPING: MTL GUTTERS & FASCIA: PAINT COLORS METAL LOUVERS: STEEL COLS., BEAMS & CONNECTORS:

NOTES

HM DOORS & FRAMES:

1. SACK ALL EXTERIOR CONCRETE WALLS & BASES.

2. AT METAL SIDING CORNER TRIM & VERTICAL HORIZONTAL TRIM IS SAME COLOR AS SIDING.

TBD

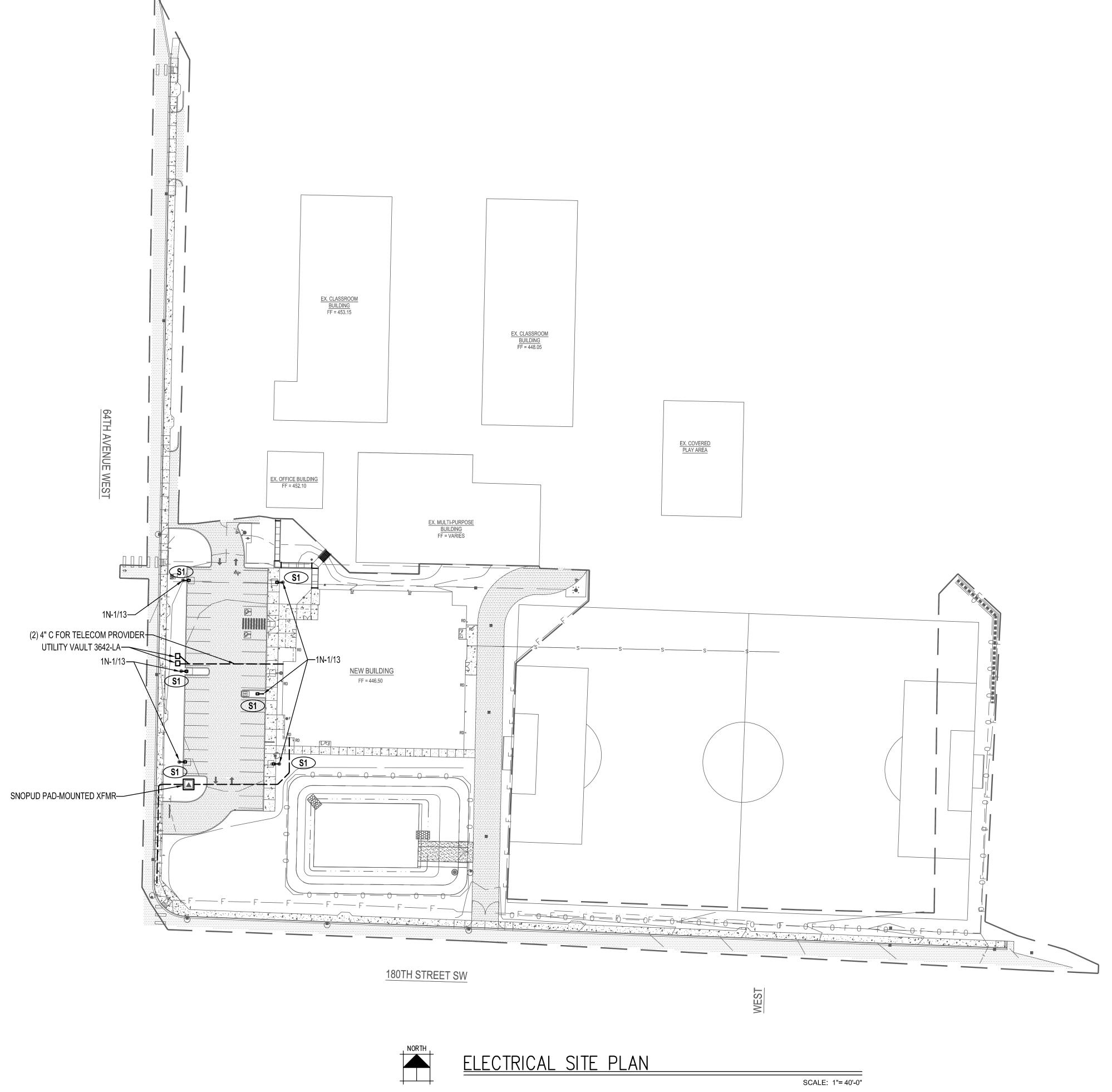
- 3. METAL LOUVERS SEE LOUVER TYPES A6.2.
- 4. WINDOWS SEE WINDOW TYPES A6.2.
- 5. METAL SIDING & TRIM SEE DETAILS 1/A10.3.
- 6. COMPOSITE WALL PANEL SIDING SEE DETAIL 11/A10.3.



© CORNERSTONE ARCHITECTURAL GROUP

4th Ave W ASHINGTON 98037 17931 6⁴ LYNNWOOD, WA

A3.2





SITE LIGHT FIXTURE

1"=40'-0"

